

GOLDEN EAGLE RISING SOCIETY

# Lilxmitawtxw ('House of Caring')

Indigenous Led Primary Care Clinic



**Shíshálh First Nation Sechelt British Columbia**

**TOHMM COBBAN**  
Architect

201-309 West Cordova Street  
Vancouver B.C. V6B 1E5 - 604/817-5875

**Lilxmitawtxw**  
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Notes:

**DP Submittal**

**LEGAL DESCRIPTION**

Rem 'M'  
LTO Ref. Plan 7383  
Plan 50316 C.L.S.R.  
Sechelt Band Lands No.2

PID: 028-052-579  
EPP4330 Lot A

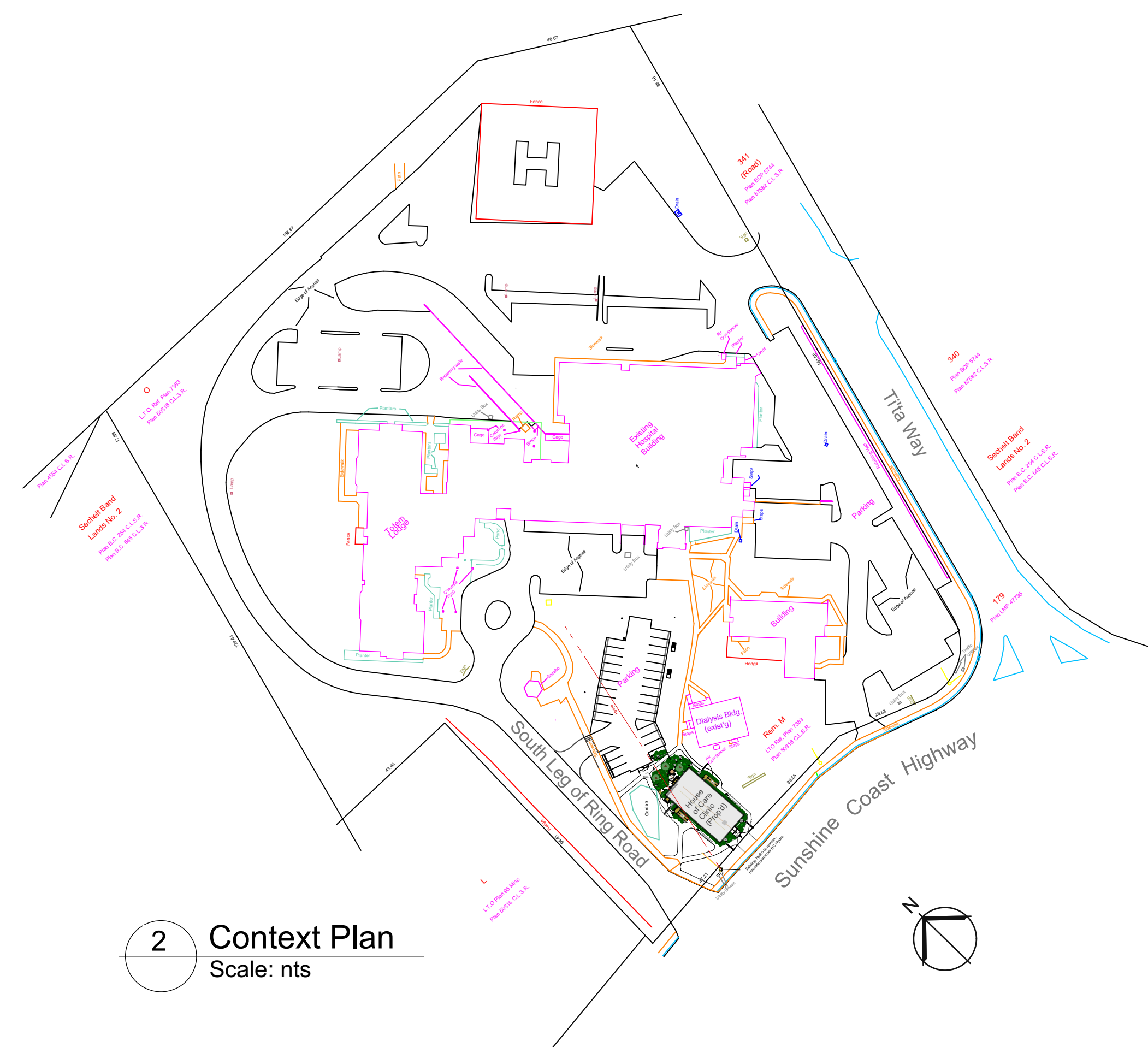
**CIVIC ADDRESS**

5544 Sunshine Coast Hwy.  
Sechelt BC V0N 3A0

Stamp

Project No. 2022-07  
Date Feb.2023  
Scale as noted

**A1.0**



2 Context Plan  
Scale: nts

**PROJECT ZONING DATA:**

1. **ZONING:** RU2 (Rural Residential)
2. **SITE AREA:** (Irregular shape; portion of Sechelt Hospital site to be confirmed) 4.2 Ha (46,200m<sup>2</sup>)
3. **BUILDING SETBACKS:** (for an accessory building)
  - FRONT SETBACK
    - Required 1.5m (4.92')
    - Proposed 1.5m (4.92')
  - REAR SETBACK
    - Allowable + Proposed 1.5m (4.92')
  - SIDE SETBACK (west side)
    - Allowable + Proposed 1.5m (4.92')
  - SIDE SETBACK (east side)
    - Allowable + Proposed 1.5m (4.92')
    - (n/a as a significant distance to PL)

4. **SITE COVERAGE:** (Sechelt Hospital Site)
  - Max Allowable (6,930m<sup>2</sup>) 15%
  - Existing (est.) (8,634.78m<sup>2</sup>) 18.69%
  - Proposed (8,899.23m<sup>2</sup>) 18.74%\*

\* Refer to 'Request for Variance' below.

5. **BUILDING HEIGHT:**
  - Maximum Allowable for an auxiliary building (Section 5.11.4) 8.5m
  - Proposed from avg. grade 4.85m

6. **GROSS FLOOR AREAS:** (for Clinic building only)
  - Main Level
  - entry/waiting area, reception and staff 686.15sf (63.74m<sup>2</sup>)
  - exam rooms 470.43sf (43.70m<sup>2</sup>)
  - assembly rooms 399.48sf (37.11m<sup>2</sup>)
  - multi-purpose room 759.54sf (70.56m<sup>2</sup>)
  - doctor office / lab 261.22sf (24.27m<sup>2</sup>)
  - staff room / wc's 228.45sf (21.22m<sup>2</sup>)
  - mechanical room 41.23sf (3.83m<sup>2</sup>)
  - Total: 2846.50sf (264.45m<sup>2</sup>)

7. **PARKING** (As per Section 6.1 and 6.4)  
Lilxmitawtxw 'House of Caring' is considered a 'Health Care Office' in the Parking ByLaw
  - Clinic Area - 264.45m<sup>2</sup>
  - parking required (4 stalls / 100m<sup>2</sup>) - 11 stalls\*\*
  - (2.64 x 4 stalls)

\*\* Refer to 'Request for Variance' below

**DRAWING LIST**

- ARCHITECTURAL**
- A0.0 Cover sheet with Renderings
  - A1.0 Site Plan, Zoning Data, Variances, Legal Description, List of Drawings, Consultants
  - A2.0 Main Floor Plan, Front Elevation, Rear Elevation
  - A2.1 Reflected Ceiling Plan (nic)
  - A2.2 Attic Storage Plan
  - A2.3 Roof Plan, Rear Elevation, Gutter Details, Project Notes
  - A3.0 Cross Sections
  - A3.1 Longitudinal Sections, Interior Elevations
  - A4.0 East and West Exterior Elevations
  - A5.0 Foundation Plan, Other (nic)
  - A6.0 Door/Window Schedules / WC interior Elevations (nic)
  - A7.0 Details (nic)
  - A8.0 General Notess (nic)

**CONSULTANT'S LIST**

**OWNER + COMMUNITY**  
GOLDEN EAGLE RISING SOCIETY for the benefit of SHISHALH FIRST NATION  
5545 Sunshine Coast Hwy.  
Sechelt, BC V0N 3A0  
CONTACT: Shain Jackson  
PHONE: (604) 982-0024  
E-MAIL: shain@goldeneaglerisingsociety.org

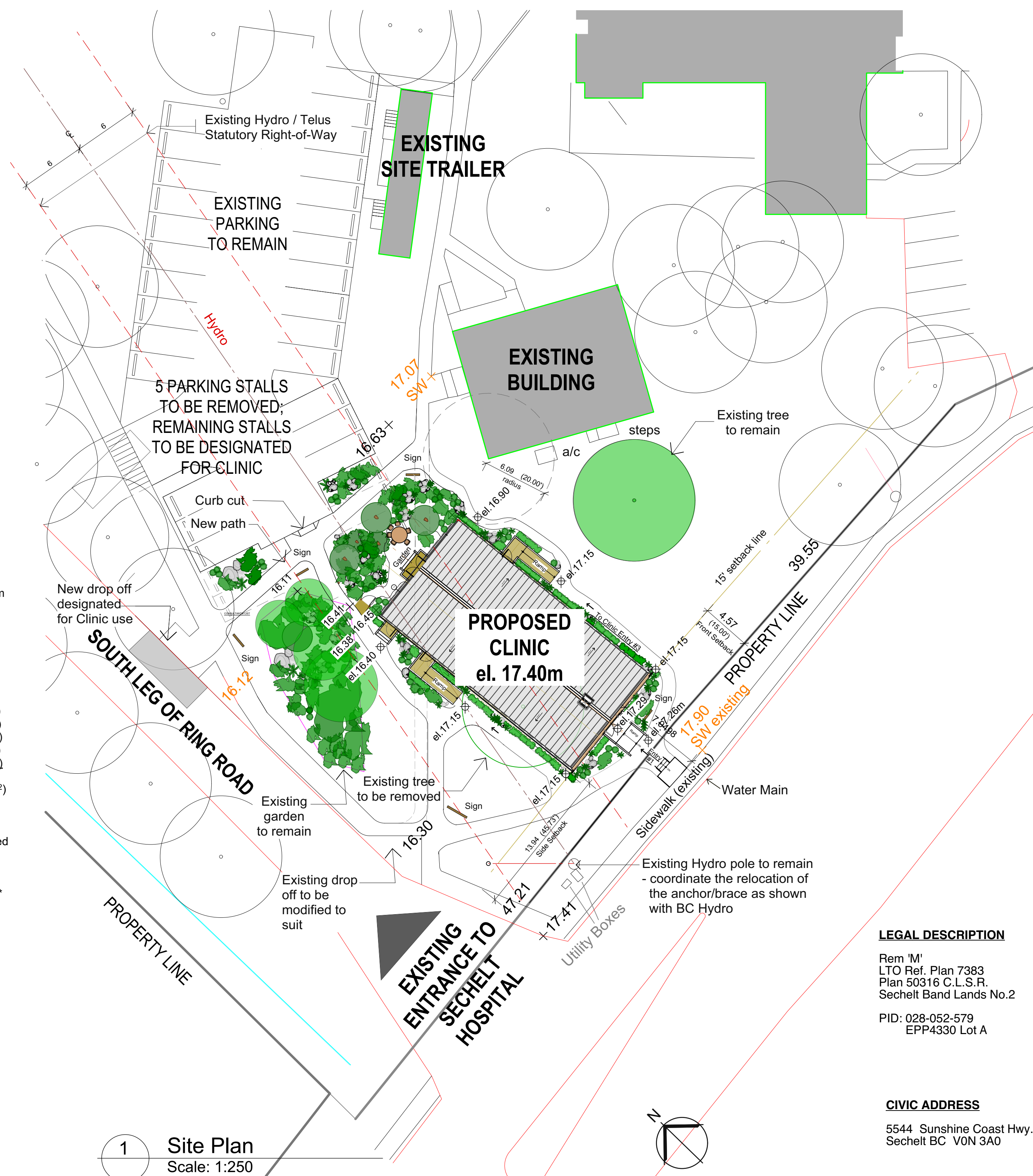
**MANUFACTURER:**  
SHAIN JACKSON, President  
Golden Eagle Rising Society  
4-1500 Railway Street  
North Vancouver B.C. V7J 1B5  
CONTACT: Shain Jackson  
PHONE: (604) 982-0024  
E-MAIL: shain@goldeneaglerising.org

**AUTHORITY HAVING JURISDICTION:**  
SUNSHINE COAST REGIONAL DISTRICT  
1975 Field Road  
Sechelt, BC V7Z 0A8  
CONTACT: Sven Koberwitz  
PHONE: (604) 865-4230  
E-MAIL: Sven.koberwitz@scrd.ca

**ARCHITECT**  
TOHMM COBBAN ARCHITECT  
#201-309 West Cordova Street  
Vancouver B.C. V6B 1E5  
CONTACT: Tohmm Cobban  
PHONE: (604) 817-5875  
E-MAIL: tohmm@telus.net

**STRUCTURAL**  
P&B ENGINEERING LTD.  
#285-9600 Cameron Street  
Burnaby B.C. V3J 7N3  
CONTACT: Min Park  
PHONE: (778) 836-7221  
E-MAIL: mpark@pnbg.ca

**SIPS MANUFACTURER:**  
INSULSPAN  
600 Chester Road  
Delta B.C. V3M 5V8  
CONTACT: Dave Stevenson  
PHONE: (778) 846-9512  
E-MAIL: dstevenson@insulspan.com



1 Site Plan  
Scale: 1:250

**REQUEST FOR VARIANCE:**

1. THE OWNER REQUESTS A VARIANCE IN SCRD ZONING BYLAW # 722 WITH RESPECT TO THE REQUIREMENTS FOR SITE COVERAGE FOR THE SUBJECT SITE TO PERMIT THE CONSTRUCTION OF A 2,846.50sf ( 264.45m<sup>2</sup>) INDIGENOUS RUN MEDICAL CLINIC BUILDING.  
  
THE EXISTING SITE AREA FOR THE SECHELT HOSPITAL AS A WHOLE IS 4.2 Ha OR 46,200m<sup>2</sup>  
  
THE MAXIMUM ALLOWABLE SITE COVERAGE FOR A SITE > 3,500m<sup>2</sup> IS 15%. AND THE ESTIMATED EXISTING SITE COVERAGE IS ESTIMATED TO BE 8,635.12m<sup>2</sup> OR 18.69%. (POTENTIALLY 19.09% WITH THE 0.04% SC ATTRIBUTABLE TO A TEMP. SITE OFFICE.)  
  
THE PROPOSED CLINIC BUILDING WOULD ADD ONLY 2,846.50M<sup>2</sup>/ 46,200M<sup>2</sup> = 0.062% TO THE SITE COVERAGE, INCREASING IT TO 18.74%.  
  
WHILE THIS INCREASES THE NON-CONFORMING EXISTING SITE COVERAGE, THE OWNER CONTENDS THAT THIS INCREASE IS MARGINAL, AND THAT THE BENEFITS OF THE PROPOSED CLINIC TO THE COMMUNITY FAR OUTWEIGH ANY NEGATIVE IMPACT OF THE INCREASE.
2. THE OWNER REQUESTS THAT THE REQUIRED PARKING ATTRIBUTED TO THE CLINIC BE NEGOTIATED BETWEEN THE SCRD AND THE SECHELT NATION AS BEING PART OF THE EXISTING POOL OF THE NATION'S EXISTING PARKING STALLS FOR THE OVERALL SITE OR PART OF THE PARKING POOL FOR THE ADJACENT MALL.  
THIS WOULD INCLUDE FIVE (5) STALLS REDUCED IN THE IMMEDIATE PARKING AREA TO THE NORTH TO ACCOMMODATE THE CLINIC'S GARDEN, AS WELL AS THE REQUIRED ELEVEN (11) STALLS.
3. THE OWNER REQUESTS THAT THE SCRD RECOGNIZE THAT THE CURRENT RU2 ( RURAL RESIDENTIAL 2 ) ZONING FOR THE SITE APPEARS POTENTIALLY INACCURATE FOR THE USE OCCUPYING THE SITE (HOSPITAL). THE OWNER UNDERSTANDS THAT A HOSPITAL USE (INSTITUTIONAL USE) IS ALLOWABLE IN DIFFERENT ZONES INCLUDING RU2 AND IS PROCEEDING ON THAT BASIS FOR THIS PROJECT. IN THE EVENT OF FUTURE ADDITIONS OR RENOVATIONS CONTEMPLATED BY THE SECHELT HOSPITAL, VCH PLANS TO ADDRESS AND CLARIFY THE ZONING DESIGNATION FOR THE SITE TO AN INSTITUTIONAL USE IF REQUIRED BY THE SUNSHINE COAST REGIONALDISTRICT..
4. THE OWNER INTENDS TO NEGOTIATE WITH TELUS WRT THE EXISTING SRW WHICH IS CURRENTLY LOCATED ACROSS THE PROPERTY IN ORDER TO SEEK AN EXEMPTION TO LOCATE THE BUILDING OVER IT, OR TO RELOCATE THE TELUS UTILITY AND SRW.

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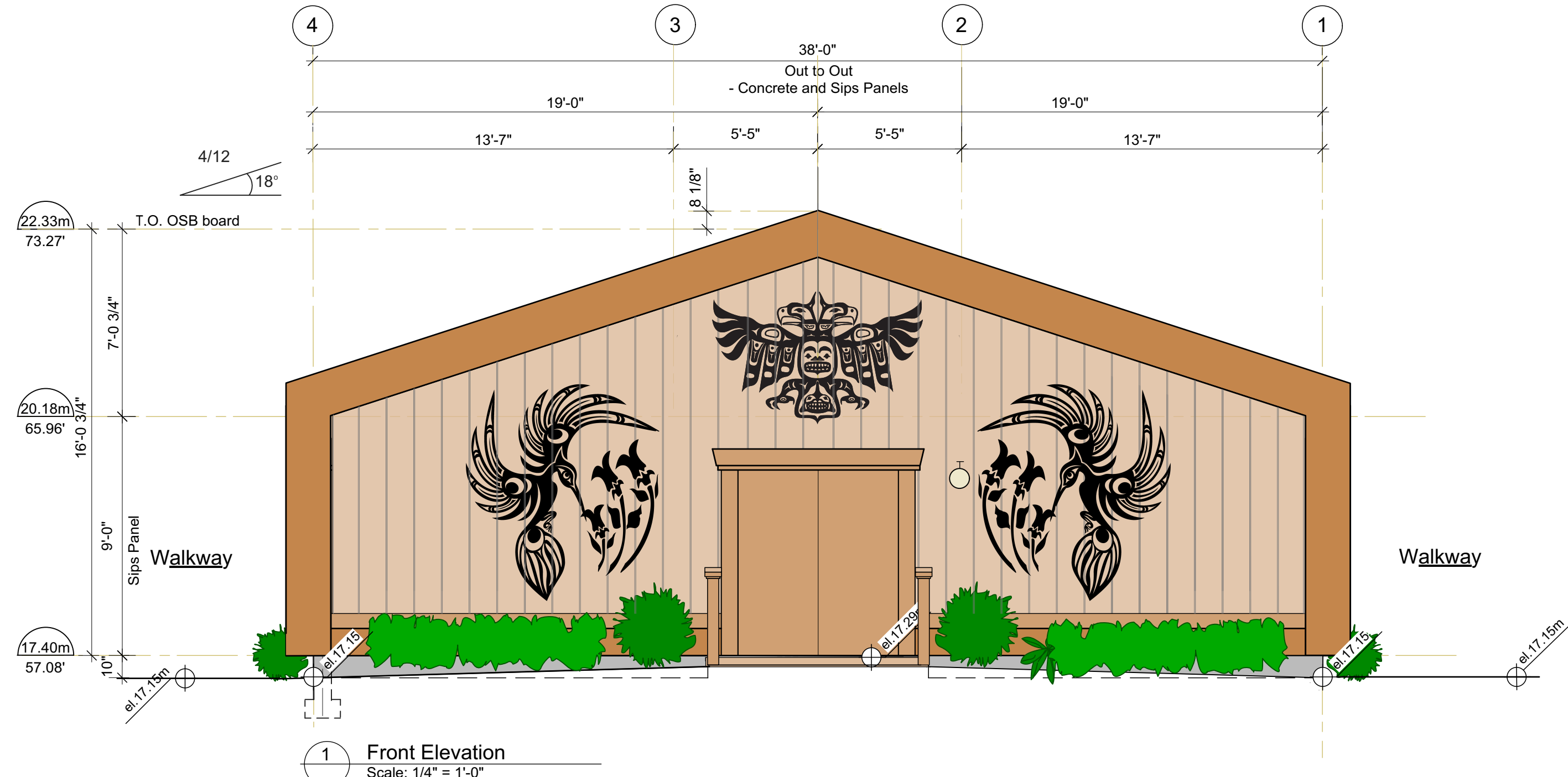
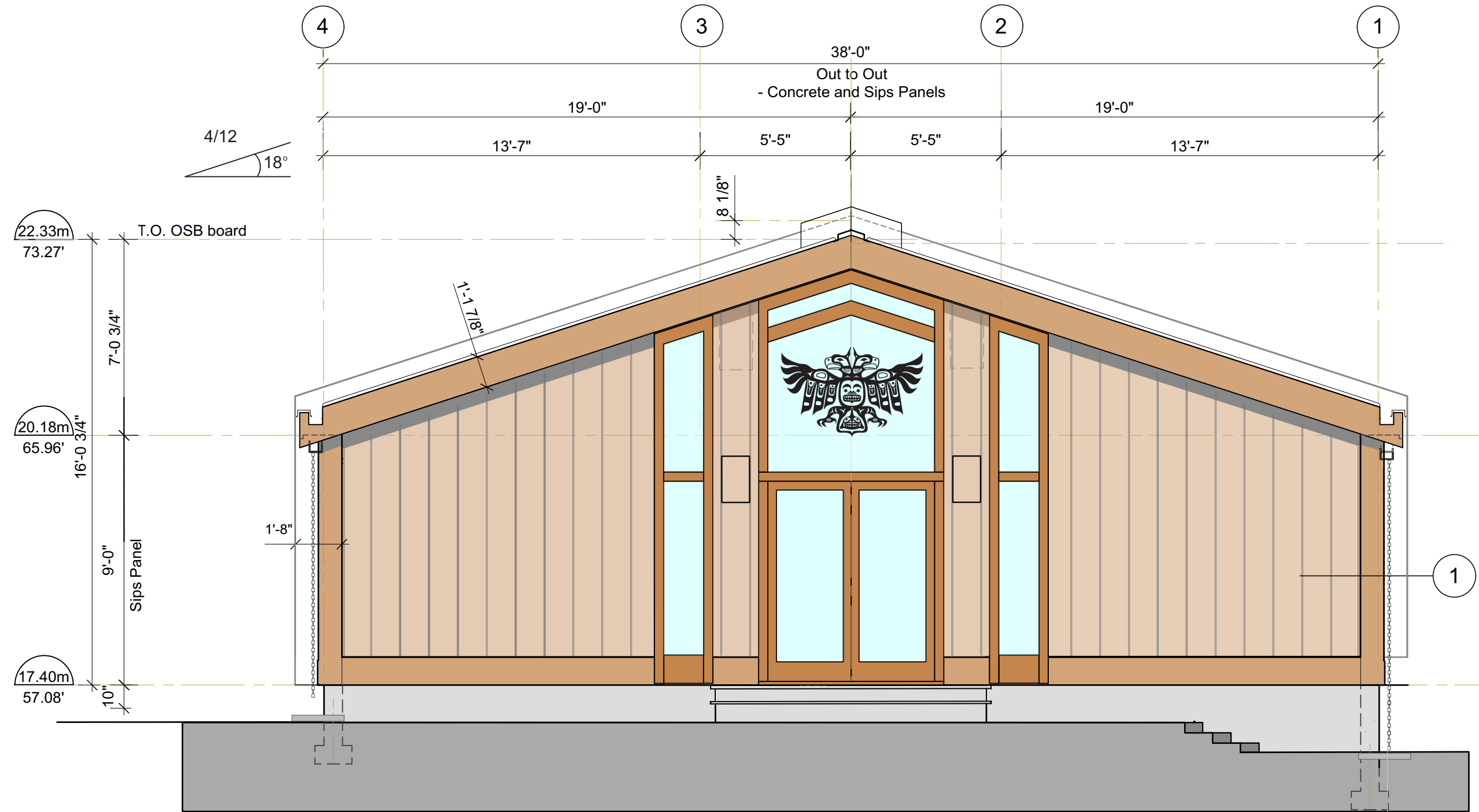
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**For 3rd Party Assessment**

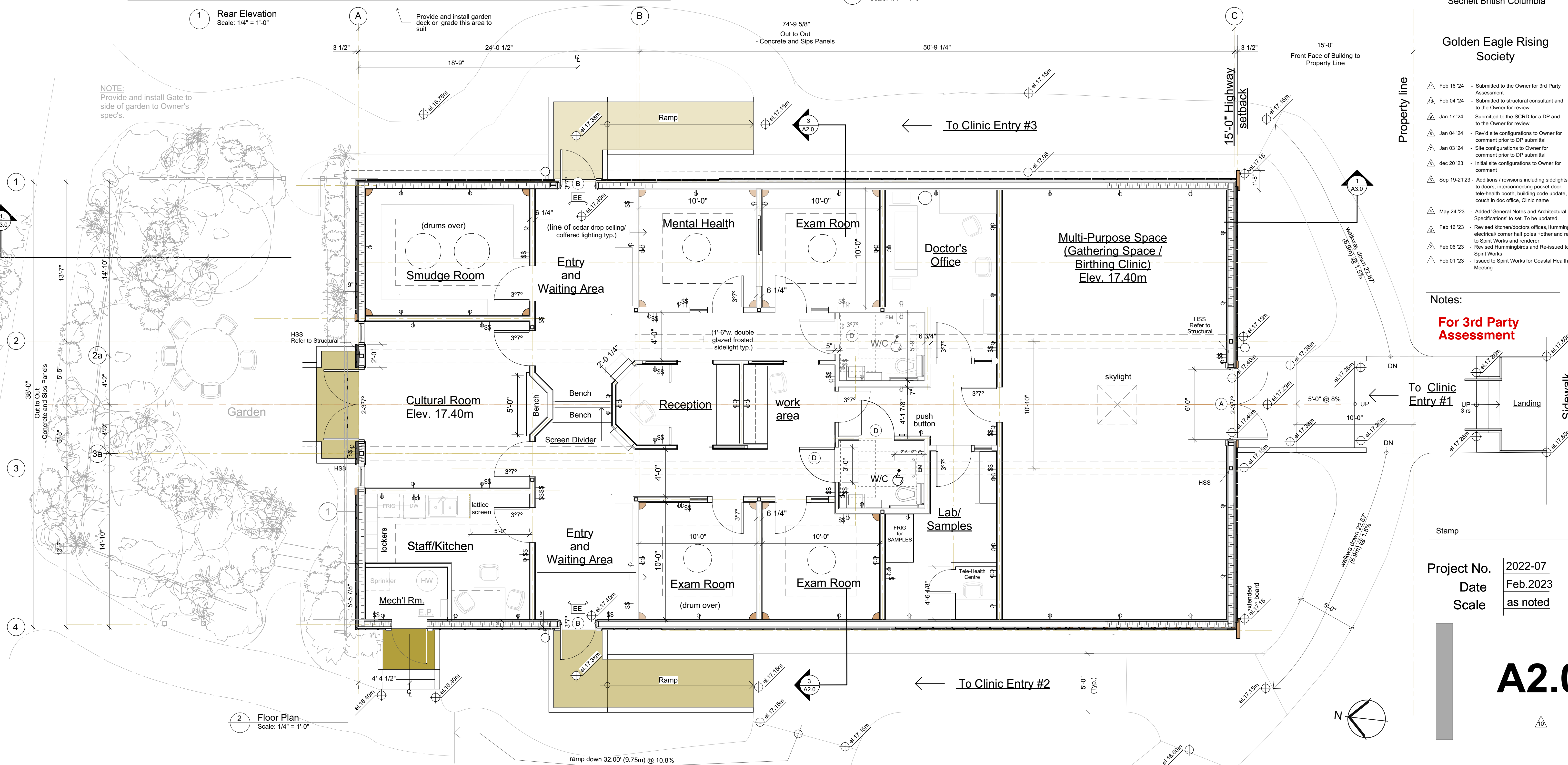
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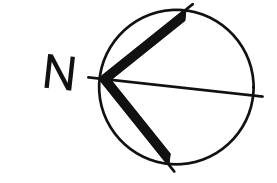
**A2.0**



NOTE:  
Provide and install Gate to side of garden to Owner's spec's.



**2 Floor Plan**  
Scale: 1/4" = 1'-0"



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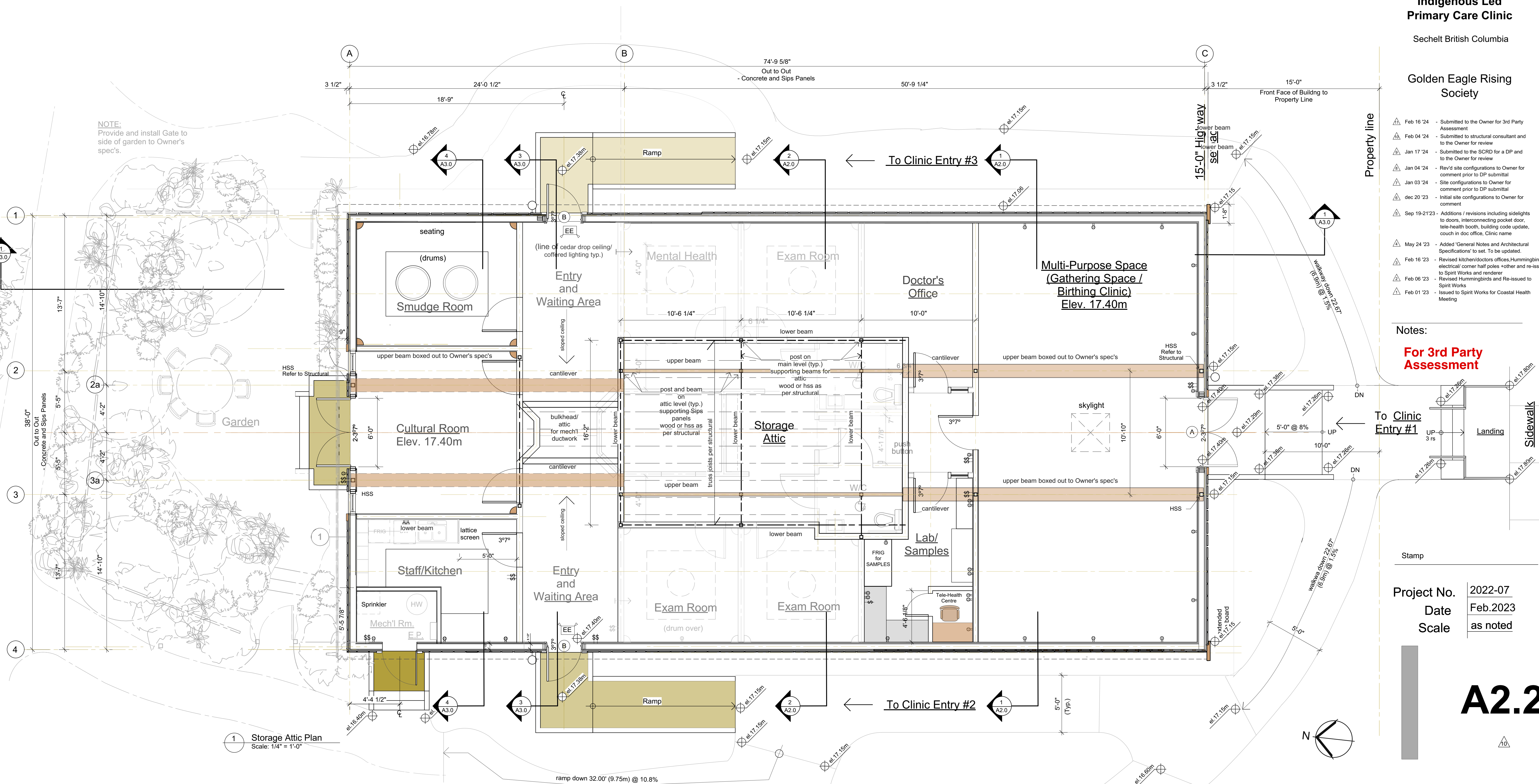
**Notes:**

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Scale as noted

**A2.2**



1 Storage Attic Plan  
Scale: 1/4" = 1'-0"

ramp down 32.00' (9.75m) @ 10.8%

**GENERAL PROJECT NOTES**

**1. Work Included**  
All work shown in these drawings shall be included unless shown as "Not in Contract" (N.I.C.). In the event of conflict within these drawings, details take precedence over general arrangement drawings, and specifications and/or written notes take precedence over all drawings.

**2. Code Conformance**  
All architectural, structural, mechanical and electrical work to be in strict conformance with the current edition of the BC Building Bylaw (BCBC) 2018, and all other applicable bylaws and regulations of Authorities Having Jurisdiction in the place of the project.

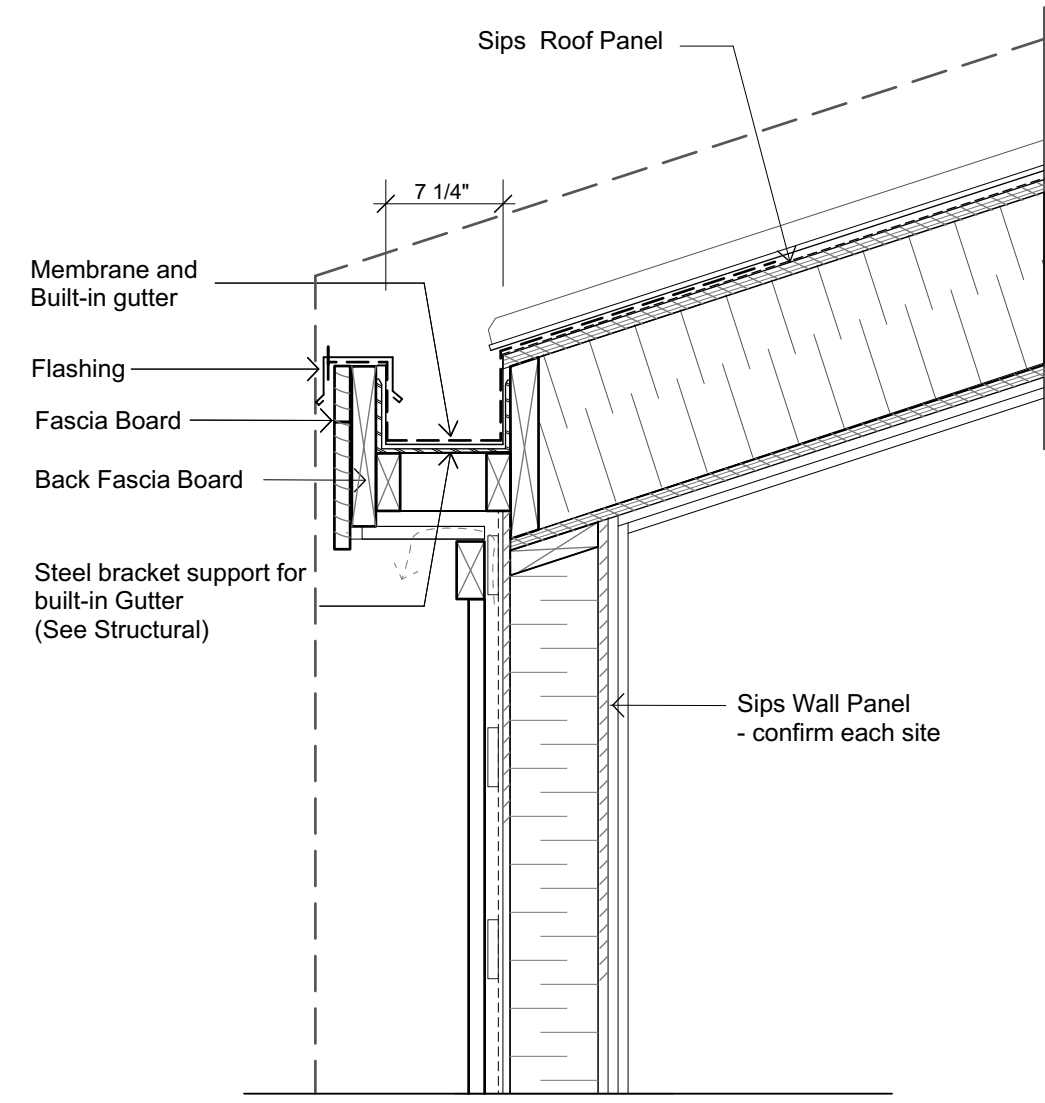
**3. Verification of Existing Conditions**  
General Contractor to verify all grades, lines, levels, dimensions, clearances, size of manufactured components, and existing service sizes and locations before work begins, and shall notify the Architect of discrepancies discovered. Start of work shall signify contractor's acceptance of the information shown in the contract documents. Contractor shall not scale drawings for dimensions.

**4. Instructions and Change Orders**  
All project instructions, change orders, and claims shall be submitted to the Architect for review and processing. Only items so reviewed and signed, when required, by both parties to contract for construction shall be in force and effect.

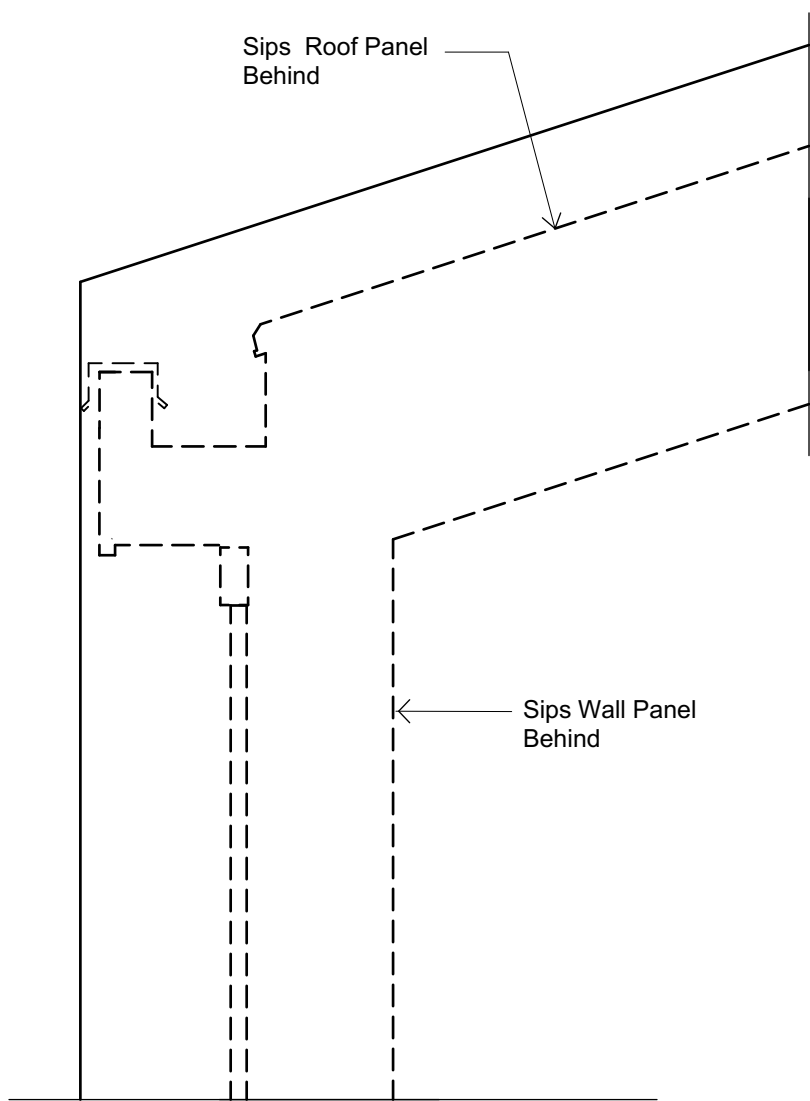
**5. Owner as Contractor**  
If owner acts as General Contractor, the design consultants assume no responsibility for consequences of failure by owner/contractor to build in strict conformance with the approved contract documents: use of them signifies owner's agreement and obligation for conformance.

**6. Latest Revision Governs**  
The contractor shall ensure that only the latest revision of the approved contract documents is used for building. On receipt of revised drawings, contractor shall remove from the jobsite all copies of previous versions of the drawings. Contractor shall be solely responsible for any extra costs resulting from the use of obsolete versions of contract documents.

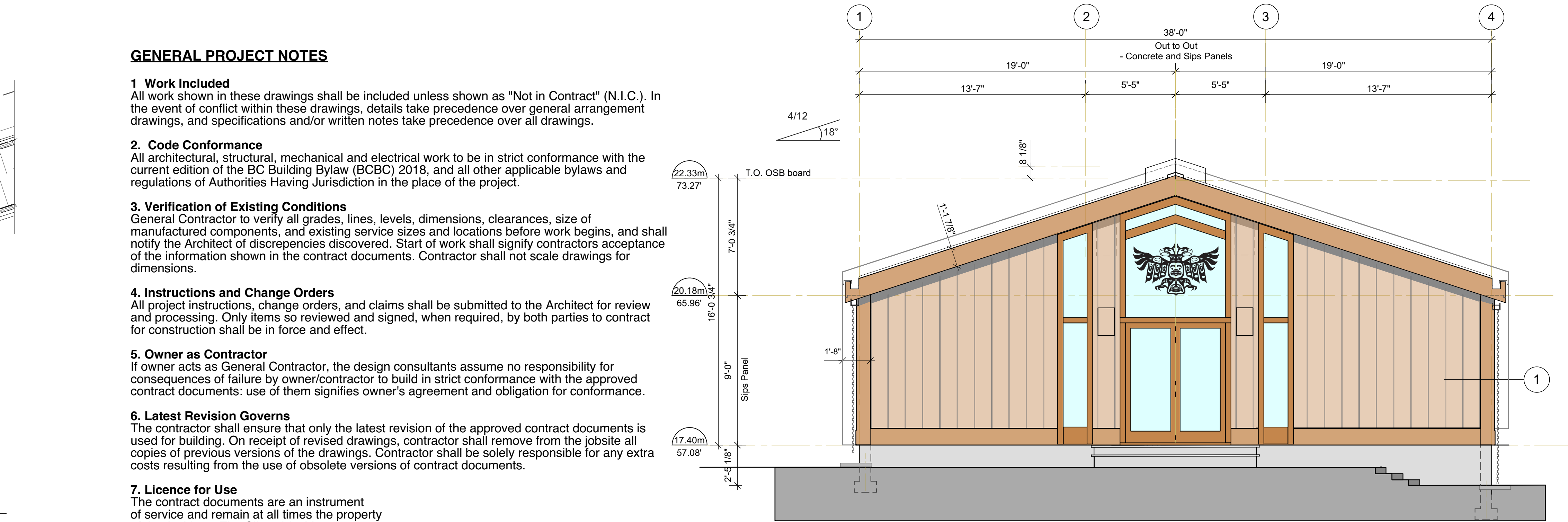
**7. Licence for Use**  
The contract documents are an instrument of service and remain at all times the property of the Architect. The Client / Architect agreement forms a licence for their use on the specific project for which they have been prepared. They may not be reproduced or used for other purposes except by written agreement between the client and the Architect.



**3 Concealed Gutter**  
Scale: 1" = 1'-0"

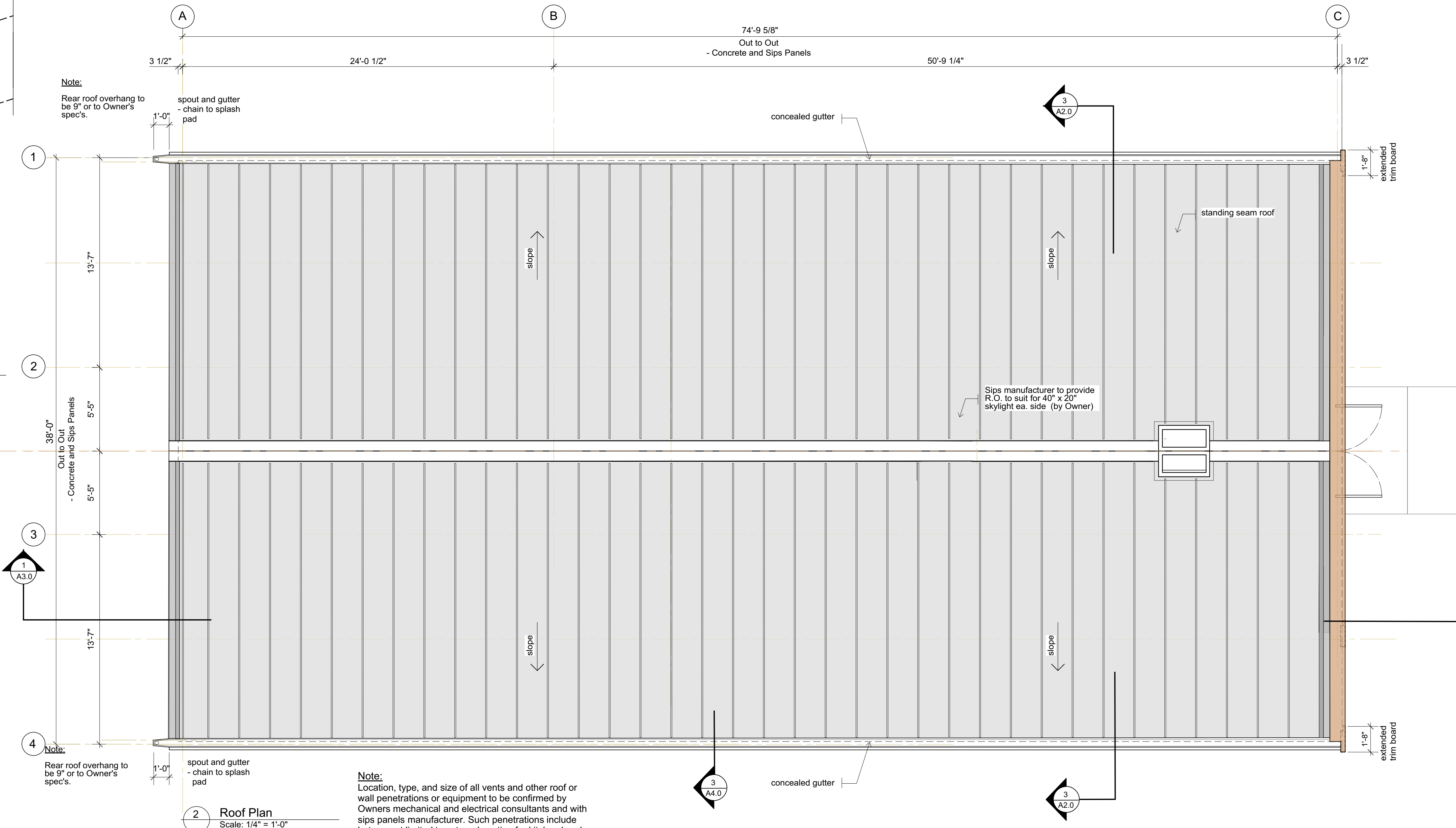


**4 Front Gable Wall w/ Side Wall Behind**  
Scale: 1" = 1'-0"



**1 Rear Elevation**  
Scale: 1/4" = 1'-0"

Provide and install garden deck or grade this area to suit



**2 Roof Plan**  
Scale: 1/4" = 1'-0"

Note:  
Rear roof overhang to be 9" or to Owner's specs.

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Rear roof overhang to be 9" or to Owner's specs.

Note:  
Location, type, and size of all vents and other roof or wall penetrations or equipment to be confirmed by Owners mechanical and electrical consultants and with sips panels manufacturer. Such penetrations include but are not limited to external venting for kitchen hood fire suppression systems, washroom venting, RTU (rooftop units), etc.

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Tohmm Cobban Architect is responsible for the architectural information only on these drawings; all structural information to be as per a Professional Structural Engineer registered in the Province of British Columbia.

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**A2.3**

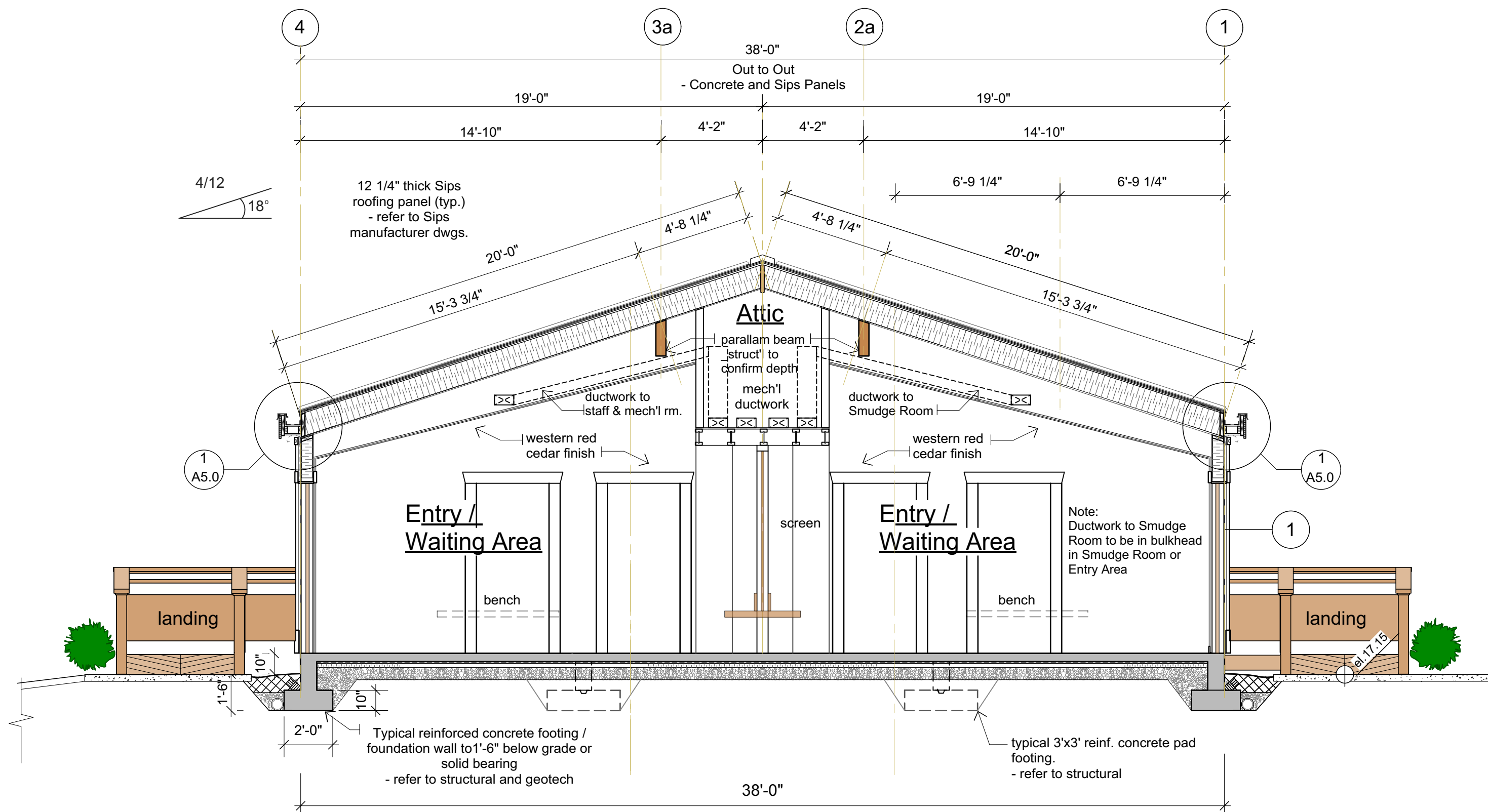
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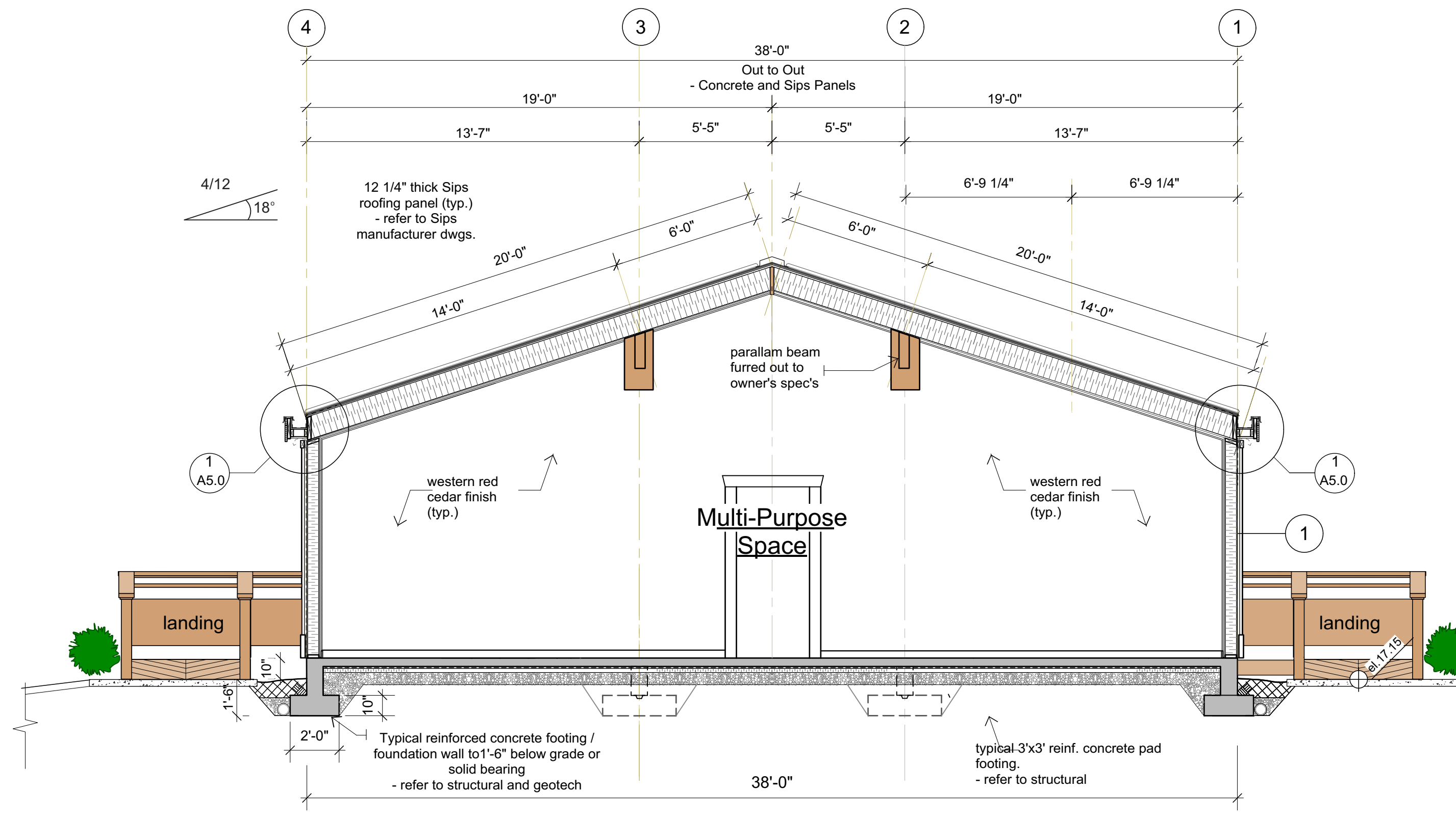
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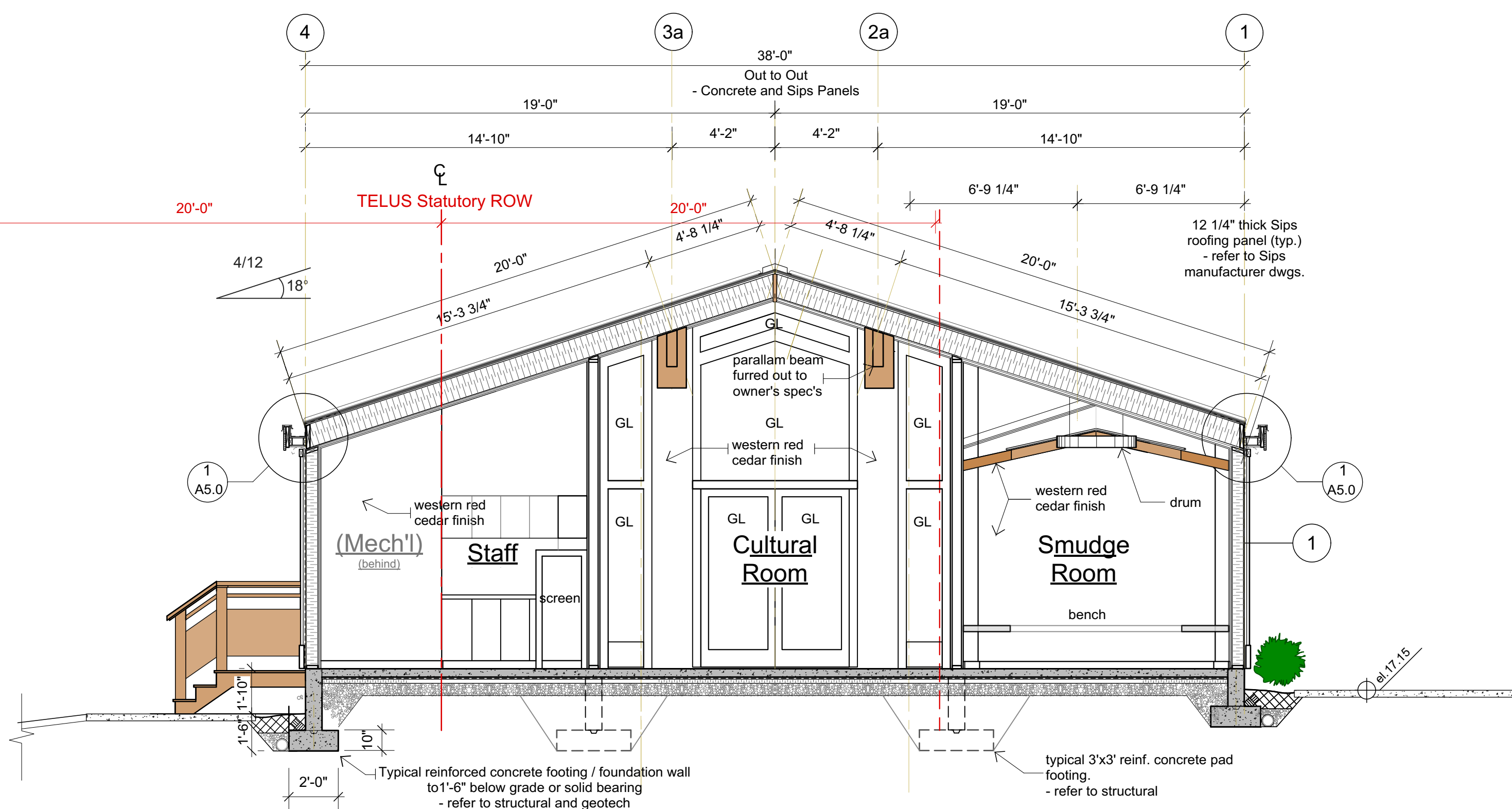
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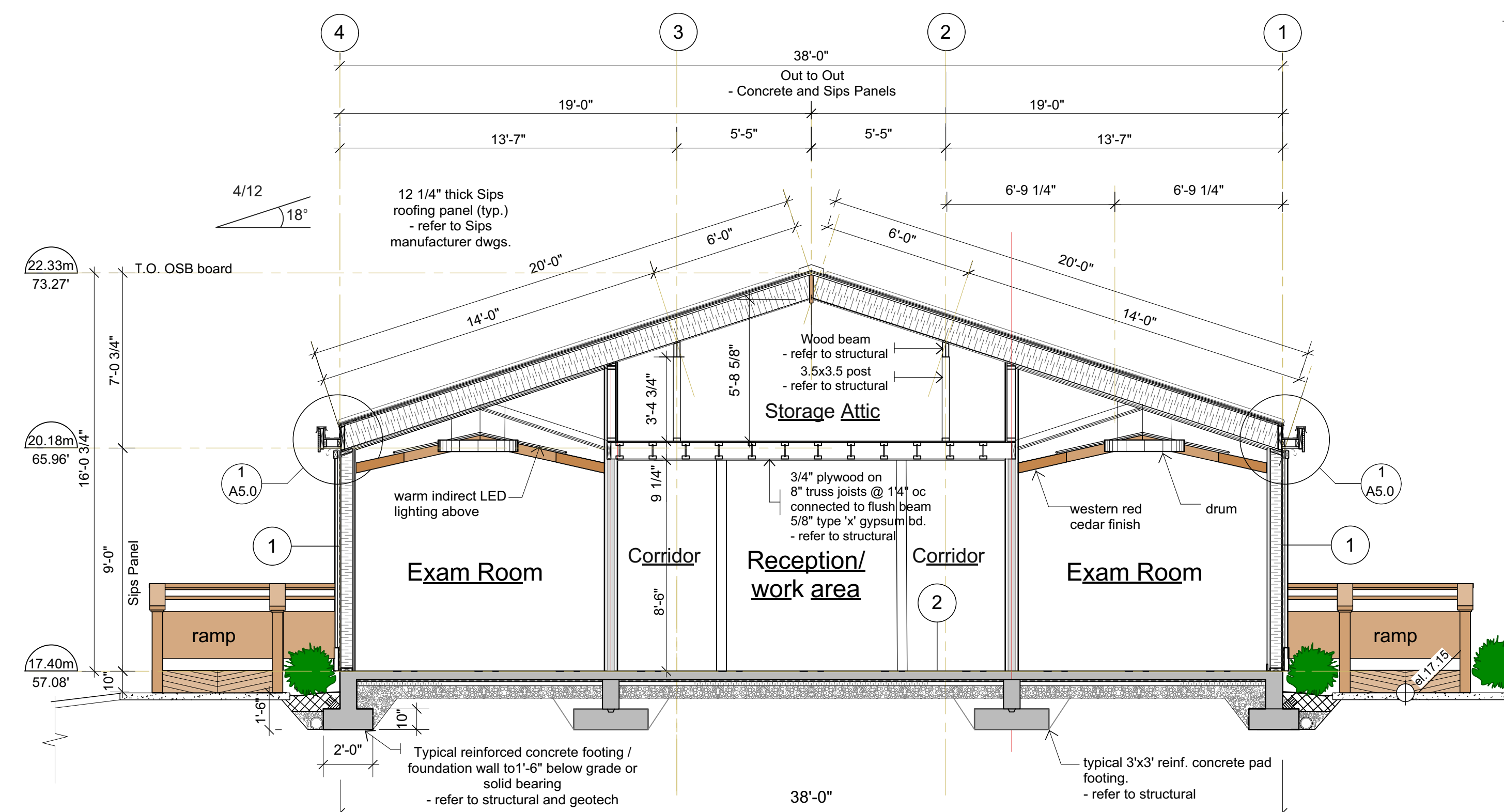
3  
A3.0 Cross Section at Entry /Waiting Areas  
Scale: 1/4" = 1'-0"



1  
A3.0 Cross Section at Multi-Purpose Space  
Scale: 1/4" = 1'-0"



4  
A3.0 Cross Section at Cultural Room / Smudge Room  
Scale: 1/4" = 1'-0"



2  
A3.0 Cross Section - Sips Panels, Walls, Storage Attic Floor and Roof  
Scale: 1/4" = 1'-0"

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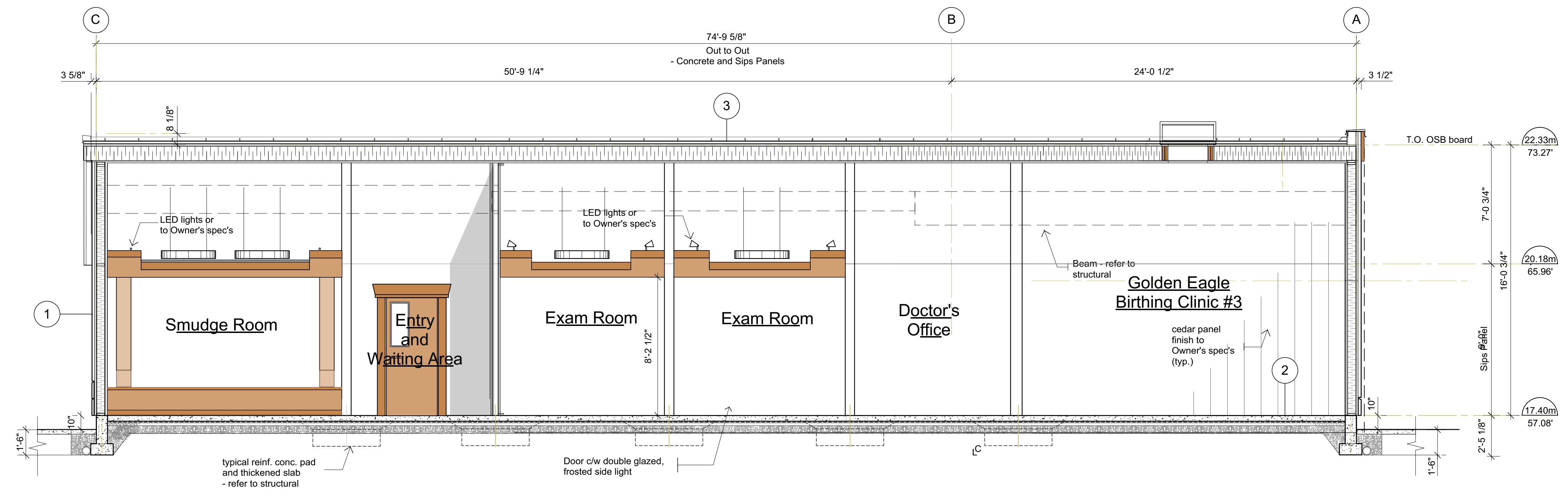
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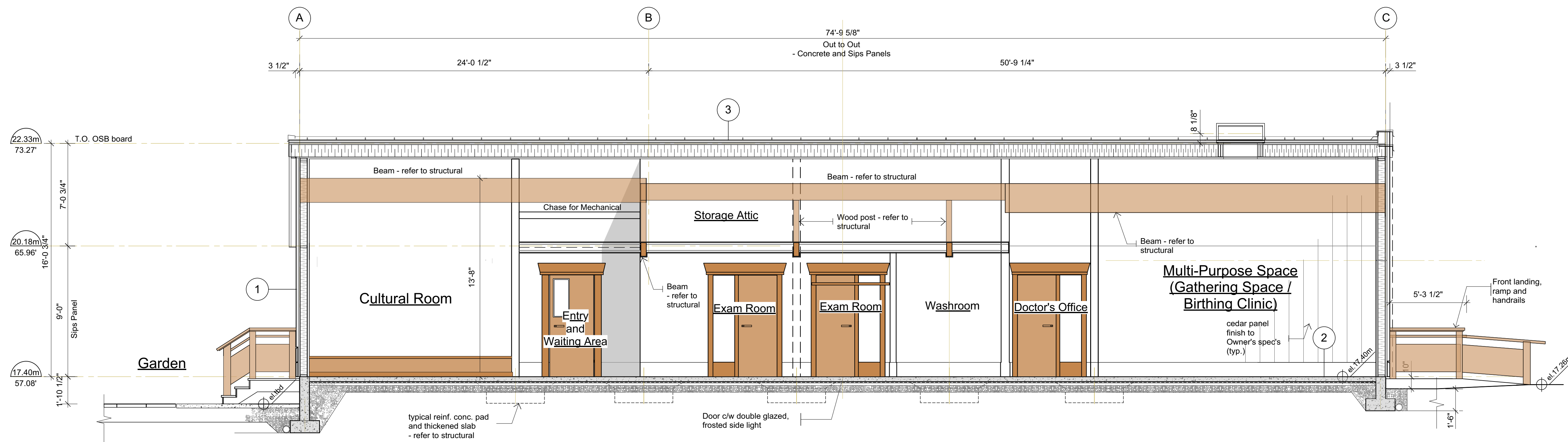
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**A3.1**



1 Longitudinal Section - Sips Panels, Walls and Roof  
Scale: 1/4" = 1'-0"

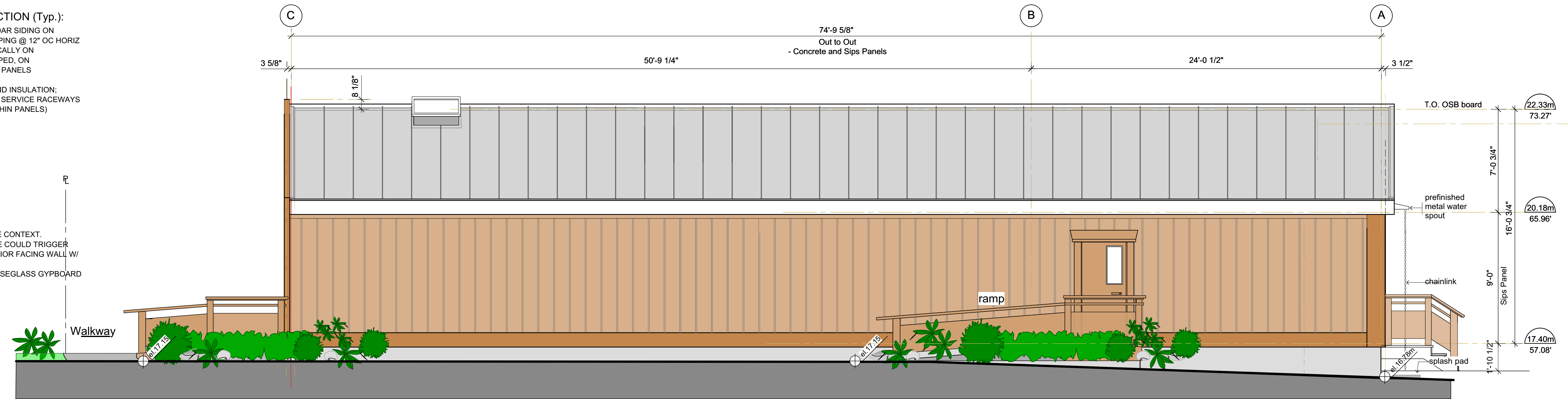


2 Interior elevation - Exam Room Doors / Sidelights (typ.)  
Scale: 1/4" = 1'-0"

## CONSTRUCTION NOTES

- 1 EXTERIOR WALL CONSTRUCTION (Typ.):  
 1x12 T&G VERTICAL WESTERN RED CEDAR SIDING ON  
 3/4"x2" VERTICAL EXT. PLYWOOD STRAPPING @ 12" OC HORIZ  
 1x4 HORIZ. STRAPPING @12" OC VERTICALLY ON  
 2 LAYERS 30 MINUTE BLDG PAPER, LAPPED, ON  
 6 1/2" PRE-MANUFACTURED R-22.6 SIPS PANELS  
 BY 'INSULSPAN' OR APPROVED EQUAL  
 (5/8" OSB BOARD EA. SIDE OF 5-1/2" RIGID INSULATION;  
 WOOD FRAMING EMBEDDED IN PANEL; SERVICE RACEWAYS  
 PRE-LOCATED TO OWNERS SPEC'S WITHIN PANELS)  
 6mil VAPOUR BARRIER  
 5/8" TYPE 'X' GYPSUM BOARD W/  
 1x4 STRAPPING @ 16" OC  
 3/4" CEDAR FINISH

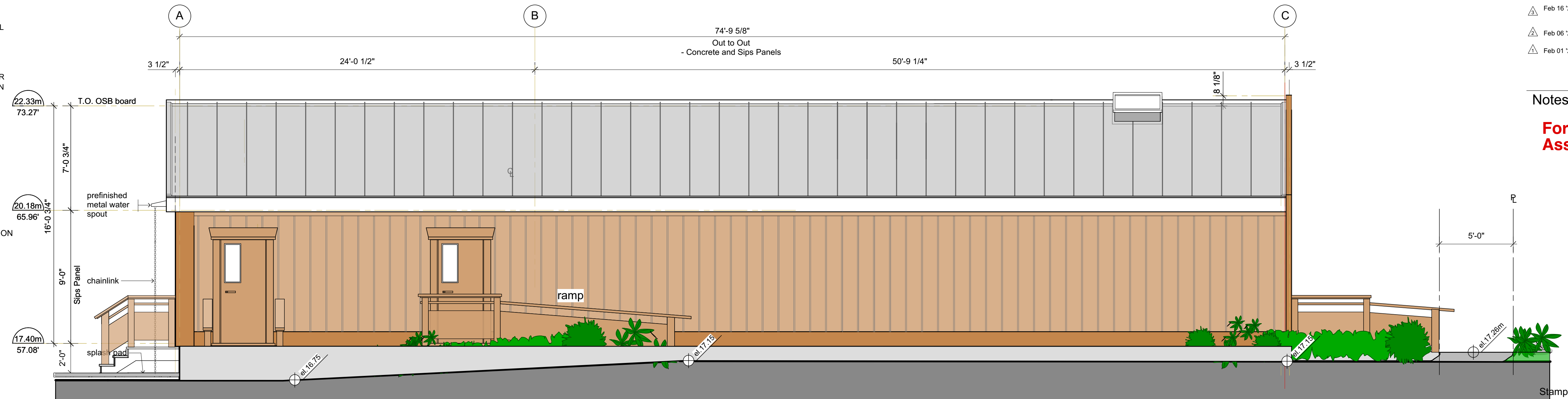
NOTE:  
 PURCHASER /OWNER TO CONFIRM SITE CONTEXT.  
 PROXIMITY TO SHARED PROPERTY LINE COULD TRIGGER  
 REQUIREMENT FOR FIRE RATED EXTERIOR FACING WALL W/  
 NON-COMBUSTIBLE CLADDING.  
 PROVIDE/INSTALL TWO LAYERS OF DENSEGLASS GYPBOARD  
 PER MANUFACTURER'S INSTRUCTIONS



1 Side Elevation  
 Scale: 1/4" = 1'-0"

- 2 FLOOR CONSTRUCTION (TYP.):  
 (BY OTHERS)

FINISH FLOOR ON  
 REINFORCED CONCRETE SLAB (by others) ON  
 POLY MOISTURE BARRIER ON  
 2" RIGID INSULATION OR AS PER BCBC2018, ASHRAE2020  
 OR AUTHORITY HAVING JURISDICTION  
 COMPACTED FILL TO SUIT OR AS PER OTHER'S  
 STRUCTURAL CONSULTANT.  
 NOTE: THE CURRENT SITE DEPTH OF GRAVEL AND LEVEL  
 OF BEARING UNKNOWN; TO BE CONFIRMED ON SITE BY  
 GC AND OTHERS' STRUCTURAL CONSULTANT.  
 PROVIDE AND INSTALL STRIP FOOTINGS AND  
 PAD FOOTINGS TO SUIT UNDER HSS AS REQUIRED.  
 DIMENSIONS, REINFORCING AND CONCRETE SPEC'S PER  
 PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN  
 THE PROVINCE OF BC  
 PERIMETER DRAINS AS REQUIRED.



2 Side Elevation  
 Scale: 1/4" = 1'-0"

- 3 NEW ROOF ASSEMBLY CONSTRUCTION  
 (TYP.):

PRE-FINISHED STANDING SEAM METAL ROOFING ON  
 1x4 WOOD STRAPPING @ 2' O.C. VERTICALLY ON  
 BUILDING PAPER ON  
 12.25" PRE-MANUFACTURED SIPS PANELS BY  
 'INSULSPAN' OR APPROVED EQUAL  
 (7/16" OSB EACH SIDE OF 11 3/8" RIGID INSULATION) ON  
 STEEL BEAMS PER STRUCTURAL  
 6 mil POLY VAPOUR BARRIER  
 5/8" TYPE 'X' GYP BD  
 RESILIENT CHANNELS @ 16" O.C.  
 CEDAR FINISH BY OWNER

- 4 NEW INTERIOR PARTITION WALL  
 CONSTRUCTION (TYP.):

2x4 WOOD STUDS @ 16" O.C. W/  
 5/8" TYPE 'X' GYP BD EACH SIDE  
 RESILIENT CHANNELS @ 16" O.C. VERTICALLY AND  
 CEDAR FINISH BY OWNER

NOTE: USE 2x6 WOOD STUDS AT WATER CLOSETS

Note 1:  
 The section drawings have shown the main floor  
 slab level to be at 10" above the existing finish  
 grade of the existing gravel.

Note 2:  
 All steps, landings, ramps and handrails are site  
 specific and dependent on base grade and are to  
 conform to BCBC2018 3.8.3.5; dimensions and  
 locations to be confirmed on site by project  
 manager. (NIC- by Others).

Note 3:  
 For mechanical heating and ventilation systems  
 refer to mechanical consultant.

TOHMM COBBAN  
 Architect

201-309 West Cordova Street  
 Vancouver B.C. V6B 1E5 - 604/817-5875

Lilxmitawtxw  
 'House of Caring'  
 Indigenous Led  
 Primary Care Clinic

Sechelt British Columbia

Golden Eagle Rising  
 Society

- Feb 16 '24 - Submitted to the Owner for 3rd Party Assessment
- Feb 04 '24 - Submitted to structural consultant and to the Owner for review
- Jan 17 '24 - Submitted to the SCRDP for a DP and to the Owner for review
- Jan 04 '24 - Rev'd site configurations to Owner for comment prior to DP submittal
- Jan 03 '24 - Site configurations to Owner for comment prior to DP submittal
- dec 20 '23 - Initial site configurations to Owner for comment
- Sep 19-21'23 - Additions / revisions including sidelights to doors, interconnecting pocket door, tele-health booth, building code update, couch in doc office, Clinic name
- May 24 '23 - Added 'General Notes and Architectural Specifications' to set. To be updated.
- Feb 16 '23 - Revised kitchen/Doctors offices, Hummingbirds electrical corner half poles -rotter and re-issued to Spirit Works and renderer
- Feb 06 '23 - Revised Hummingbirds and Re-issued to Spirit Works
- Feb 01 '23 - Issued to Spirit Works for Coastal Health Meeting

Notes:

**For 3rd Party  
 Assessment**

Project No. 2022-07  
 Date Feb.2023  
 Scale as noted

**A4.0**